

# Fence Guidelines

“No fences are allowed unless approved by the Committee, in accordance with guidelines adopted by the Association. Fences are subject to the complete jurisdiction of the Association, as determined by the Committee, including their location, style, materials and height.” (pg. 11 of the Protective Covenants)

## Carolina Colours Building Guidelines

- Fences are subject to the complete jurisdiction of the Improvement Review Committee and must be approved in advance by such.
- Fences are discouraged; however, when appropriate, they will be approved by the Improvement Review Committee under the following guidelines:
  - Fences may extend no deeper than one-half the mean distance between the home and the rear lot line.
  - Fences may in no case encroach upon drainage or utility easements.
  - Fences may in no case encroach on minimum building setback lines for the home and homesite.
  - Fence height cannot exceed 4 feet tall.
  - Fences cannot extend out beyond the width (side) of the house or extend forward further than the rear of the house.
  - Solid wall construction will not be allowed.
  - Tops of pickets or vertical boards used in fencing should have a design element.

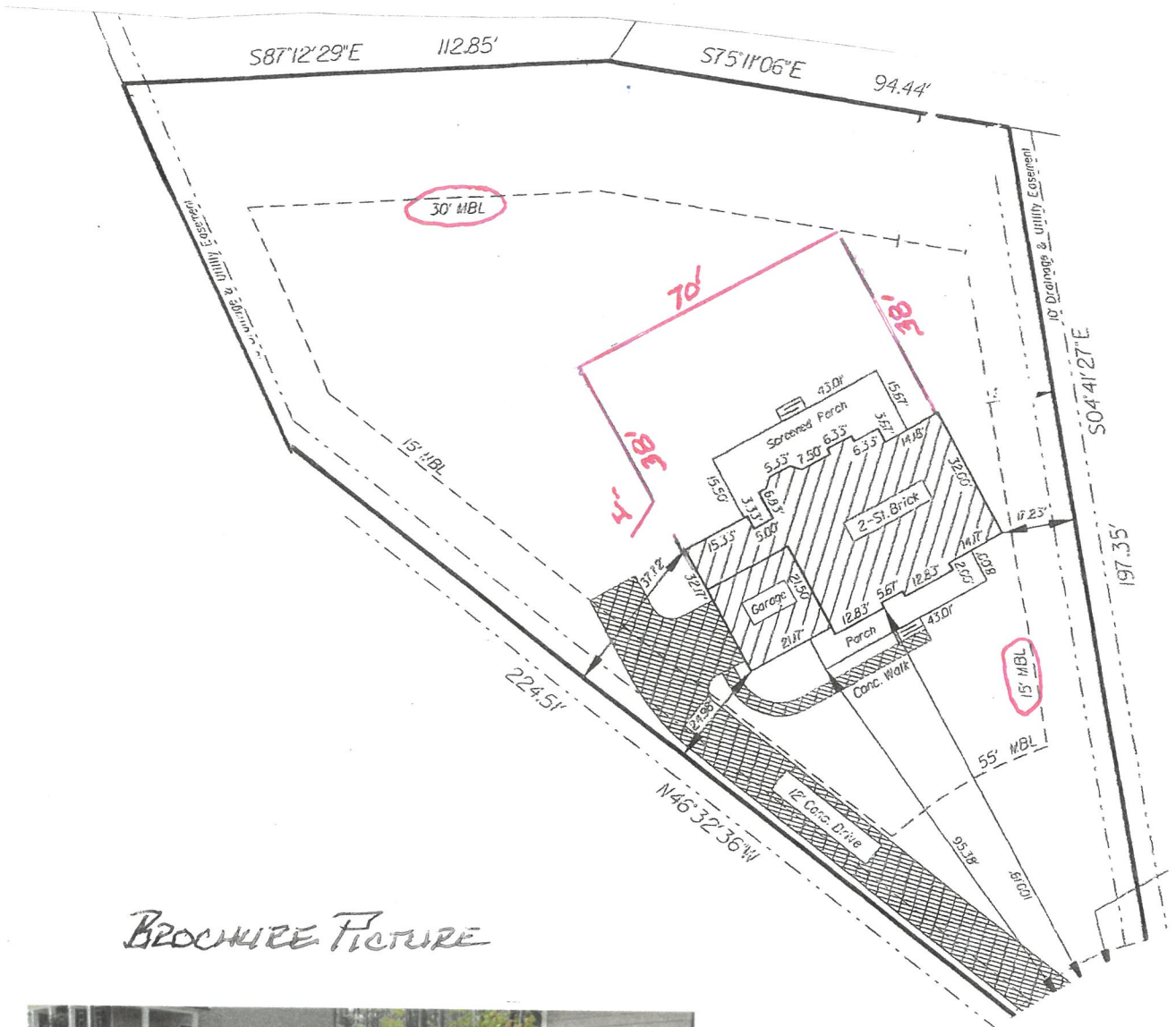
\*Certain communities such as Carolina Commons and Bayberry have different guidelines.

Submittal package requirements:

- Plat of your property showing the house on the lot as well as Minimum Building Lines set by the neighborhood covenants. (Copy of survey usually provided at closing)
- Location of proposed fence with dimensions, gate locations and size
- Picture of fence (from actual photo or brochure) with height shown and color. Approved fence materials are wood picket, vinyl picket, and aluminum fence.

We are always available to meet with you and review your fencing proposal.

SAMPLE  
DRAWING



BROCHURE PICTURE



403 - carolina